



January 6, 2025

To: City Council  
Sam Anselm, Kellie Mayers

From: Dustin Harrison, Building Official/Zoning Administrator.

Re: 4 – 4-unit apartment buildings, 16 total units

### **Executive Summary**

Recommending approving a building permit for 4, 4-unit apartment buildings.

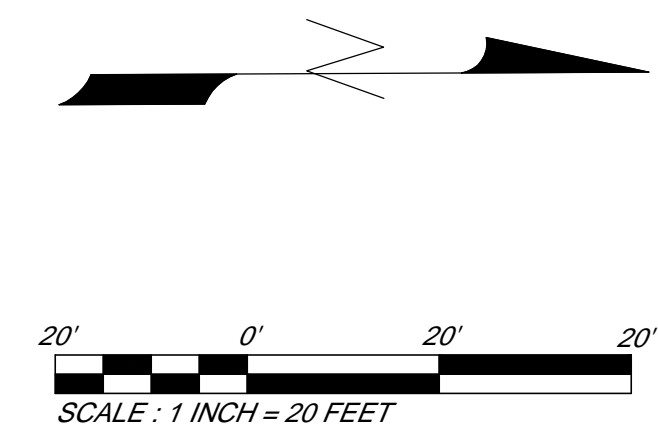
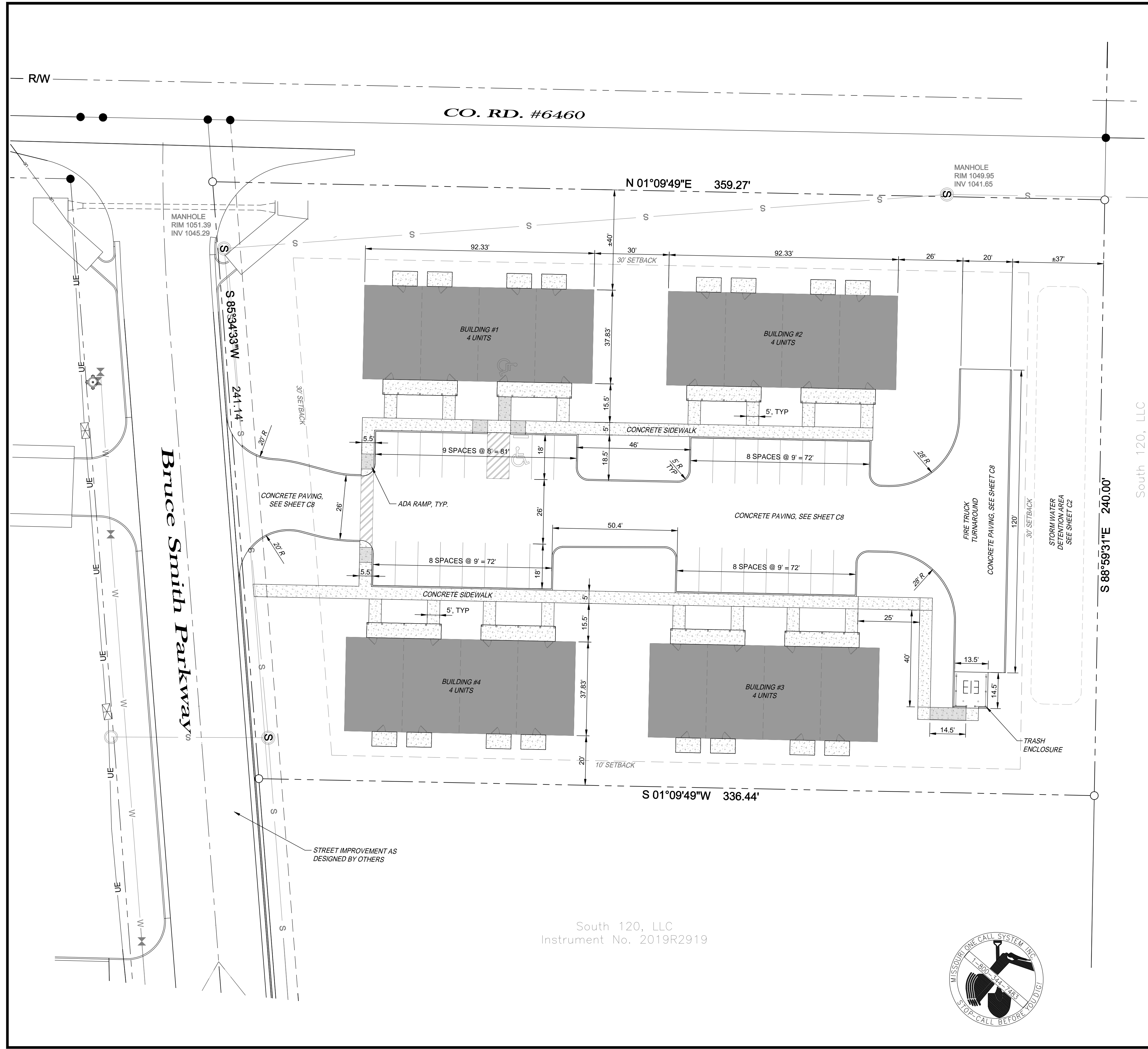
### **Discussion**

This request has been submitted by Housing Plus LLC. This request is for 4, 4-unit apartments. 16 unit's total. This is phase II of the Garner Villas senior housing development that was just completed. These units will not be age restrictive.

City staff has reviewed this plan for zoning compliance and adequate infrastructure. This plan meets the requirements for the C-2 zoning designation and utilities are in place to support the development and consistent with the Comprehensive Land Use Plan. Planning and Zoning met on January 2<sup>nd</sup> to review the plan and was recommended for approval.

### **Fiscal Impact**

N/a



**LEGEND**

- SURVEYED BOUNDARY LINE
- EASEMENT LINE
- (00.00') (D) RECORD DIMENSION - DEED
- UT UNDERGROUND TELEPHONE LINE
- UE UNDERGROUND ELECTRIC LINE
- S SANITARY SEWER LINE
- W WATER LINE
- x - x - x - FENCE LINE
- SETBACK LINE
- ⊙ TELEPHONE PEDESTAL
- ⊙ UTILITY POLE
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- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC TRANSFORMER
- ⊙ ELECTRIC METER
- + 997.49 SPOT ELEVATION

**UTILITY DISCLAIMER**

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**GENERAL NOTES**

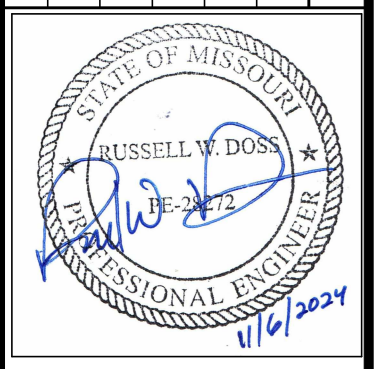
1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC GENERAL NOTES WORKS DEPARTMENT OF THE CITY OF WEST PLAINS, MISSOURI, UNLESS OTHERWISE NOTED.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY OF WEST PLAINS, MISSOURI.
3. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
4. THE CONTRACTOR MAY UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY THE ONE CALL SYSTEM, INC.: 1-(800)-344-7483. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI.
5. ALL DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL UNDER NO CIRCUMSTANCES CLEAR OR DAMAGE ANY TREES OUTSIDE THE CLEARING LIMIT LINE SET BY THE CITY WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR PROPERTY OWNER.
7. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
8. THE CONTRACTOR SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
9. THE CONTRACTOR SHALL PLACE MIN. 4" TOPSOIL AND SEED & MULCH ALL DISTURBED AREAS AT THE DIRECTION OF THE ENGINEER.



South 120, LLC  
Instrument No. 2019R2919

South 120, LLC  
Instrument No. 2019R2919

NO.	DATE	REVISION DESCRIPTION	BY



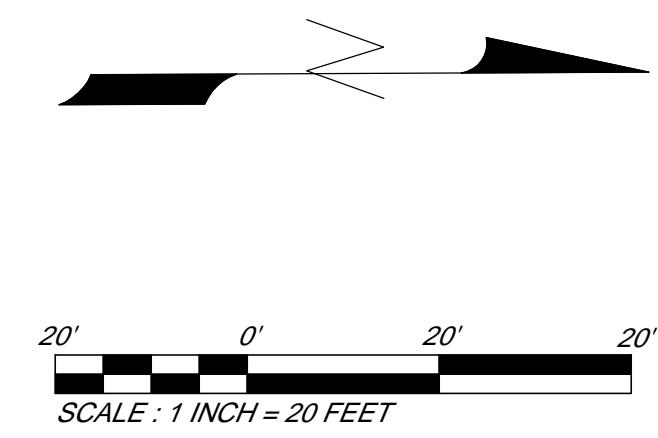
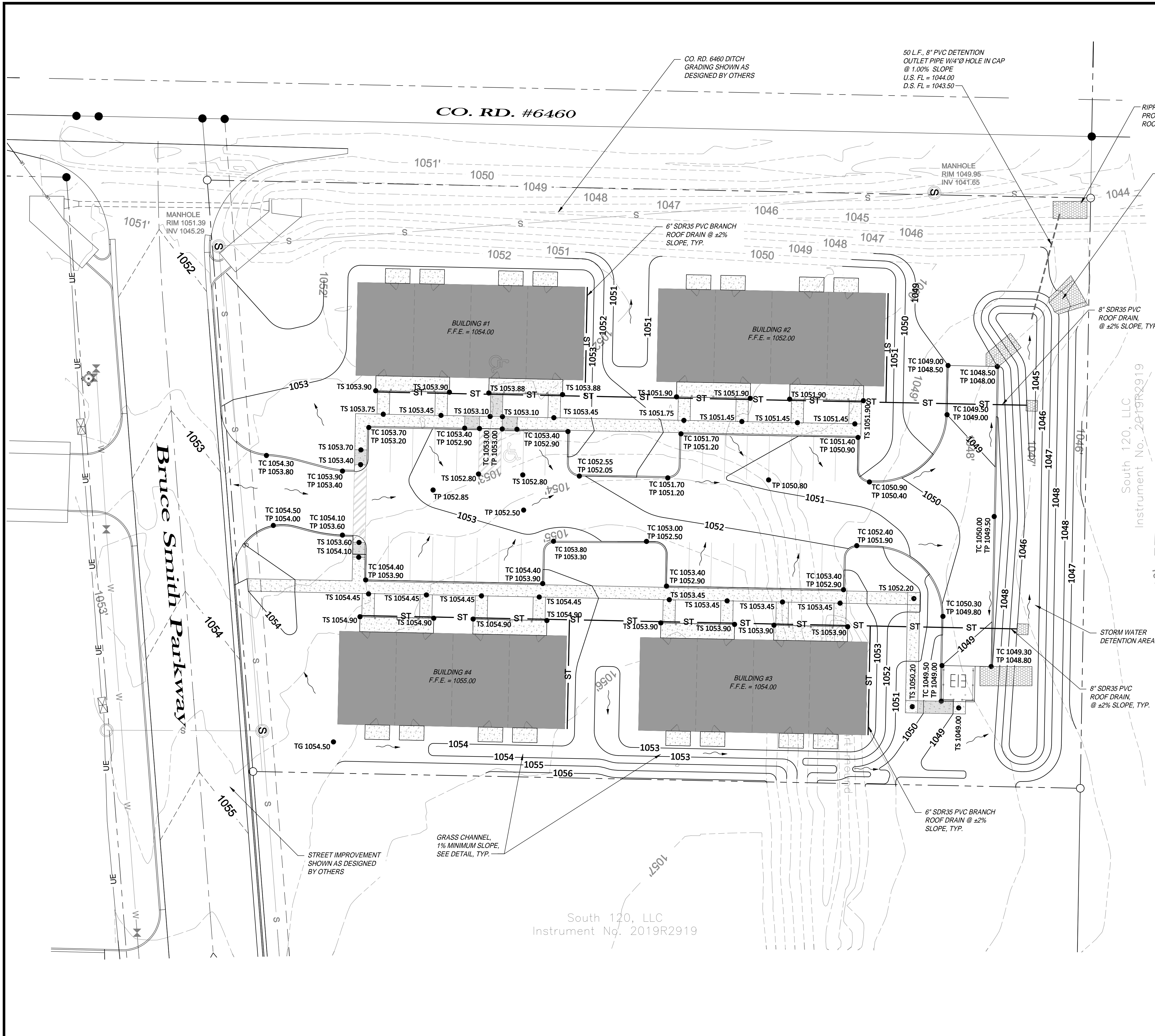
**Overland ENGINEERING, LLC**  
1938 IMPERIAL CIR., STE. 2009 WEST PLAINS, MO 65775  
PHONE: (417) 256-8550 FAX: (417) 256-8652  
www.overlandeng.com

CHECKED BY:	R.D.	DRAWN BY:	R.D.	JOB NUMBER:	DATE:
				23-1209	11-18-2024

**GARNER VILLAS PHASE II  
WEST PLAINS, MISSOURI**

**SITE PLAN**

**SHEET  
C1**



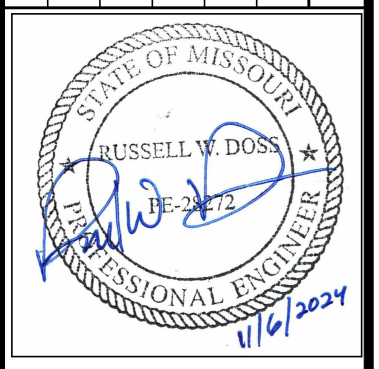
**LEGEND**

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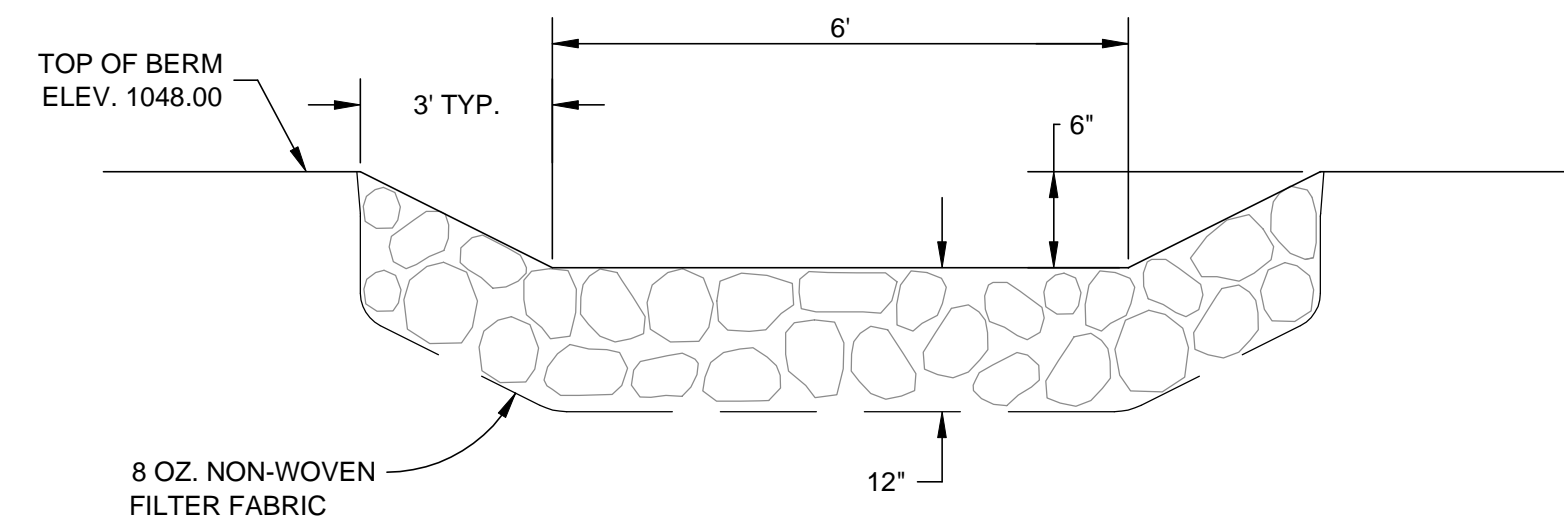


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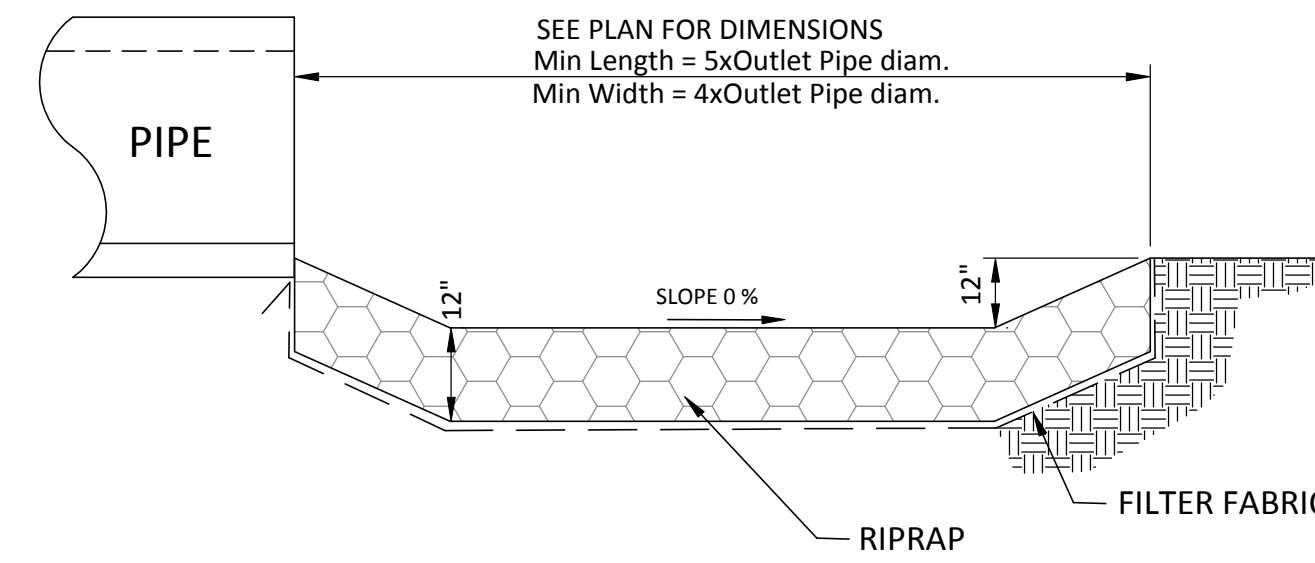
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JOB NUMBER: 2311209	DATE: 11-18-2024

**GARNER VILLAS PHASE II  
 WEST PLAINS, MISSOURI  
 GRADING & DRAINAGE PLAN**

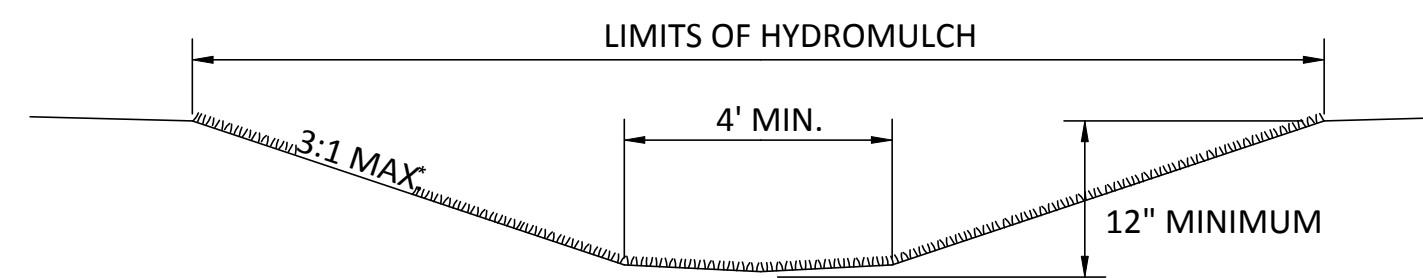
**SHEET  
 C2**



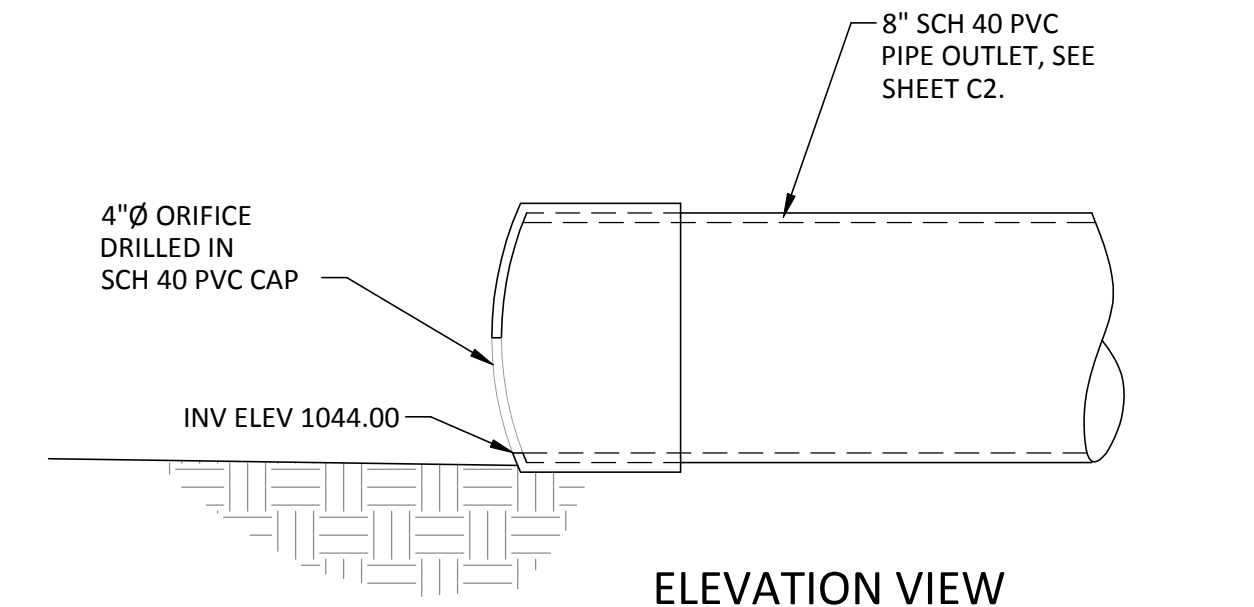
**RIPRAP DETENTION OVERFLOW**  
NO SCALE



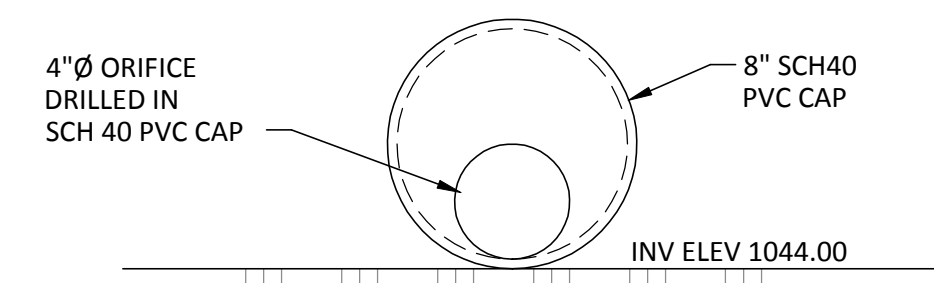
**RIPRAP OUTLET DETAIL**  
NO SCALE



**GRASS CHANNEL DETAIL**  
NOT TO SCALE

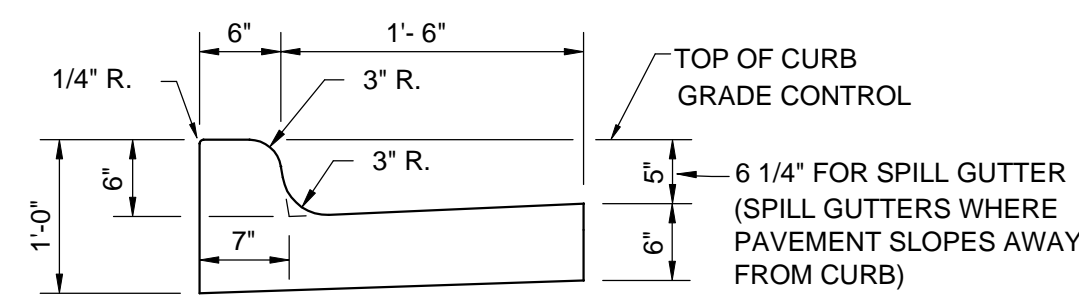


**ELEVATION VIEW**



**END VIEW**

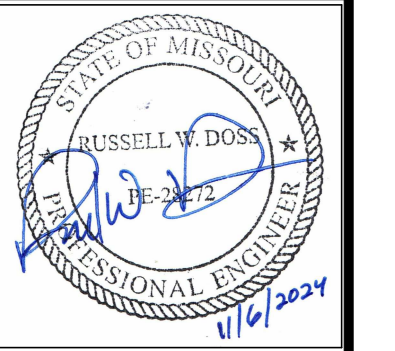
**DETENTION OUTLET DETAIL**  
NO SCALE



CONTRACTION JOINTS @ 20' INTERVALS  
3/4" EXPANSION JOINTS @ ALL POINTS  
OF BEGINNING CURVATURE AND TANGENCY

**CONCRETE CURB & GUTTER DETAIL**  
NOT TO SCALE

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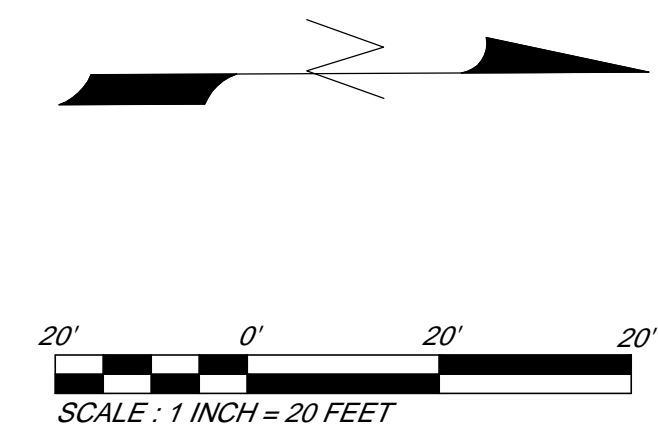
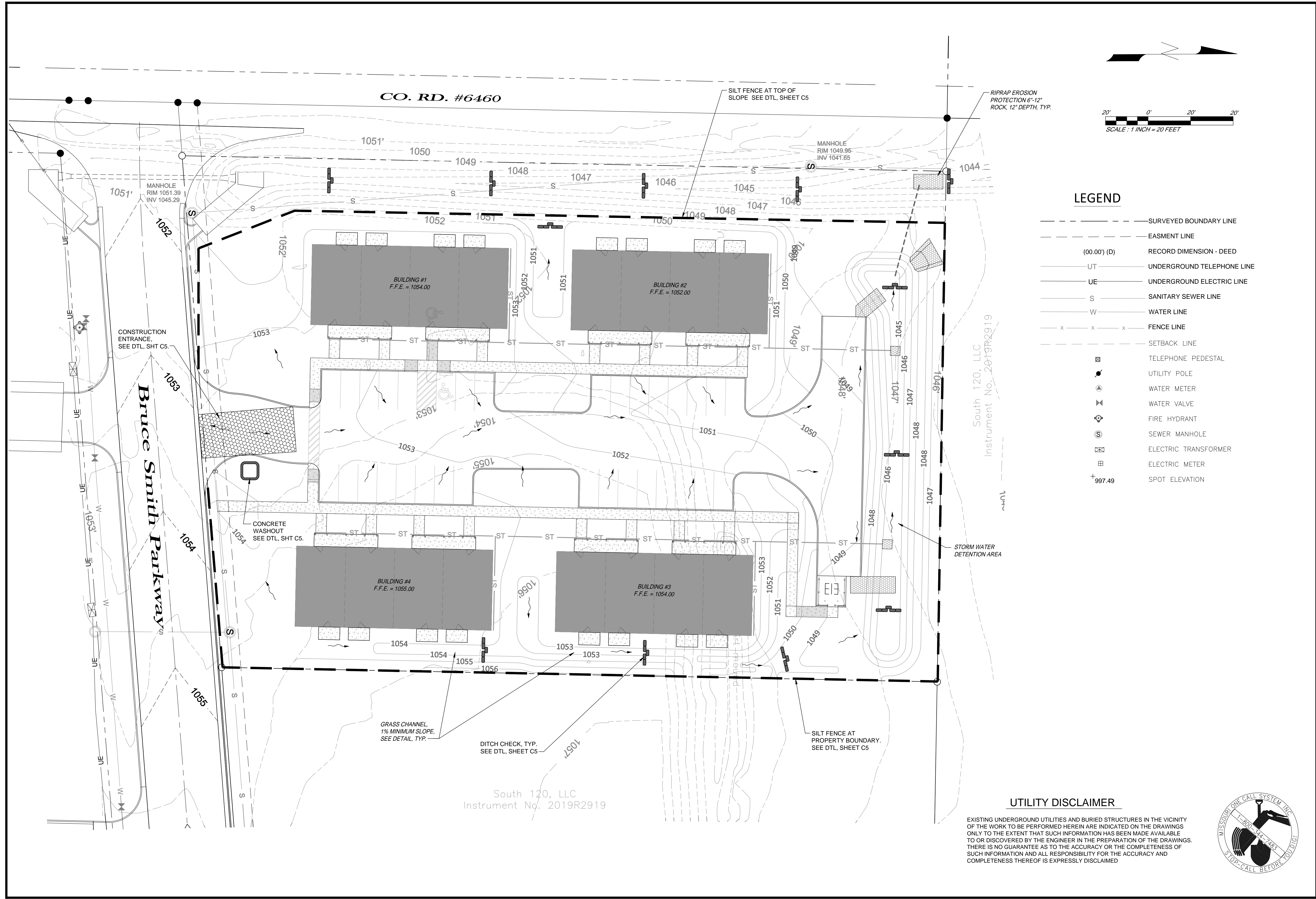


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**GARNER VILLAS PHASE II**  
WEST PLAINS, MISSOURI  
**GRADING & DRAINAGE DETAILS**

**SHEET**  
**C3**

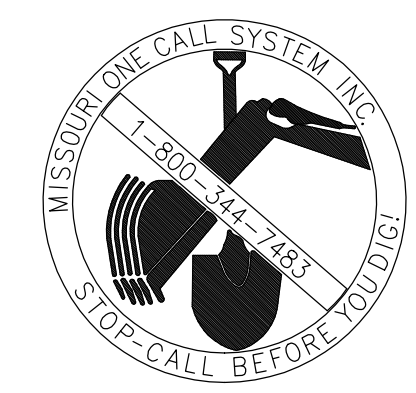


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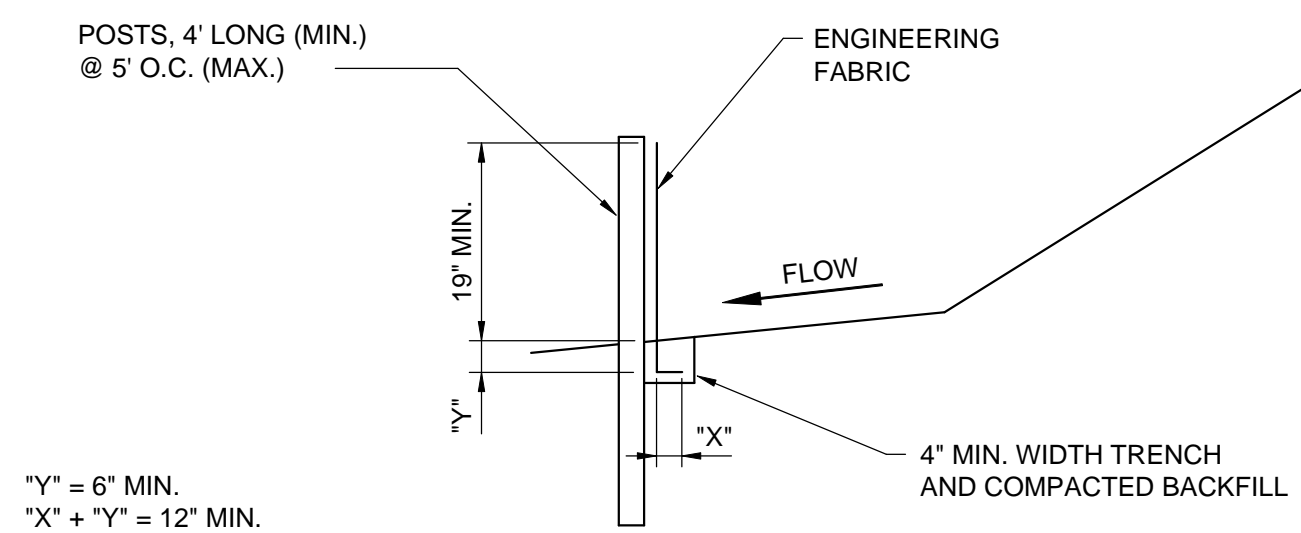
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<p><b>GARNER VILLAS PHASE II</b> WEST PLAINS, MISSOURI</p>	<p><b>SEDIMENT &amp; EROSION</b> CONTROL PLAN</p>
<p>CHECKED BY: _____ R.D. _____</p> <p>DRAWN BY: _____ R.D. _____</p> <p>JOB NUMBER: 23-1209</p> <p>DATE: 11-18-2024</p>	<p>NO. _____</p> <p>DATE _____</p> <p>REVISION DESCRIPTION _____</p> <p>BY _____</p>
<p><b>SHEET C4</b></p>	

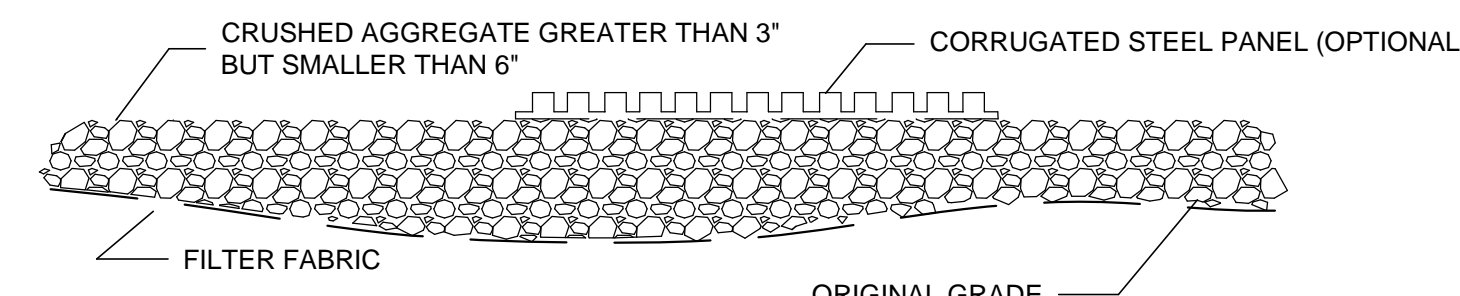
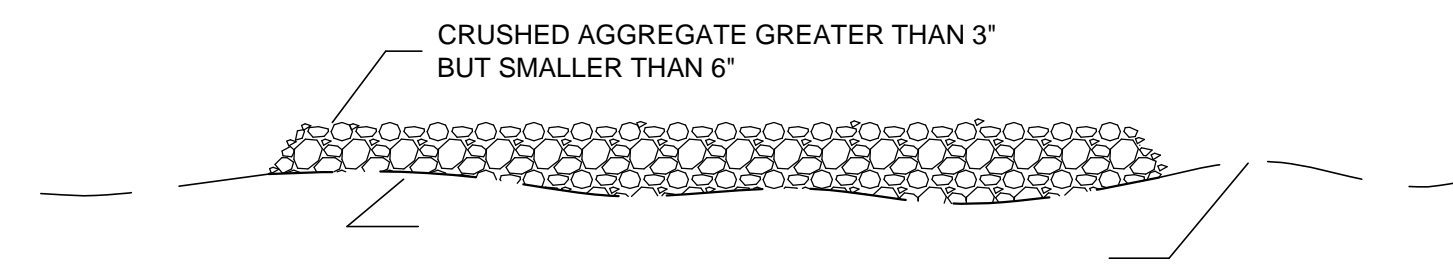
**NOTES:**

1. THE MINIMUM LONGITUDINAL SPLICE OVERLAP SHALL BE 2' WITH A POST AT EACH END.
2. SECURE FABRIC TO POSTS.

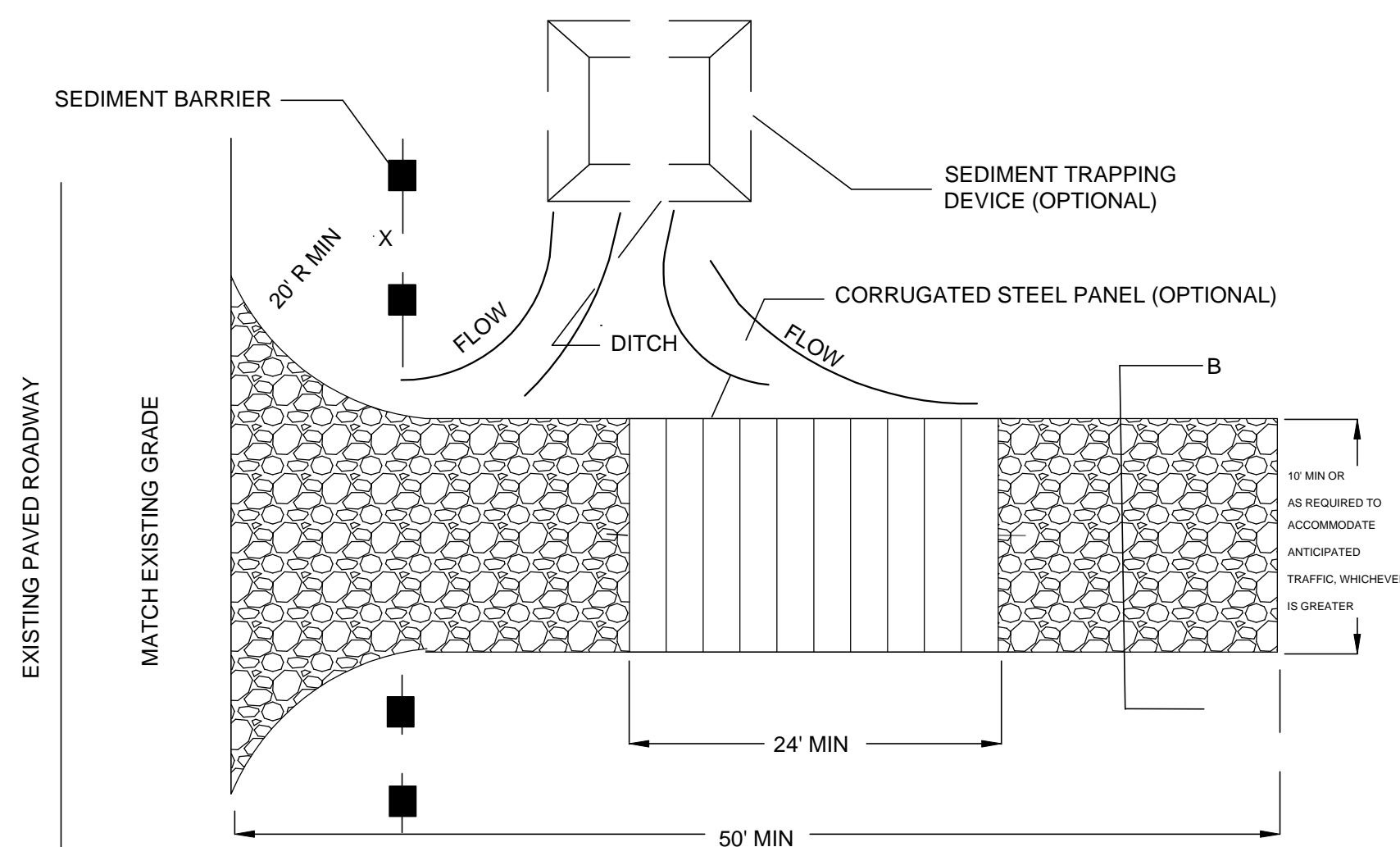


**SILT FENCE DETAIL**

NOT TO SCALE



**SECTION**



**PLAN**

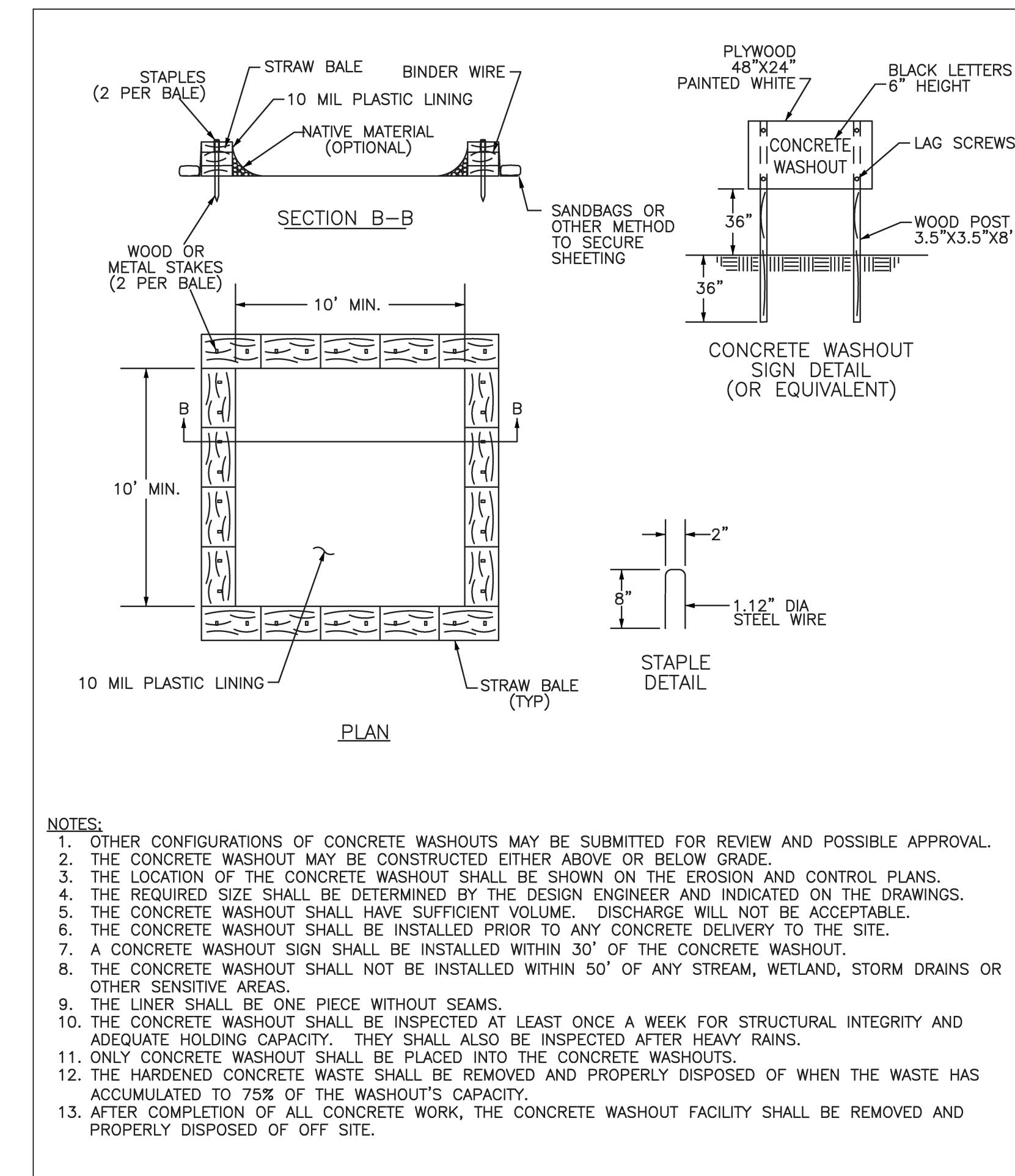
**CONSTRUCTION ENTRANCE**

NOT TO SCALE

**SEEDING AND MULCHING SPECIFICATIONS**

ALL DISTURBED AREAS MUST BE REVEGETATED BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED.

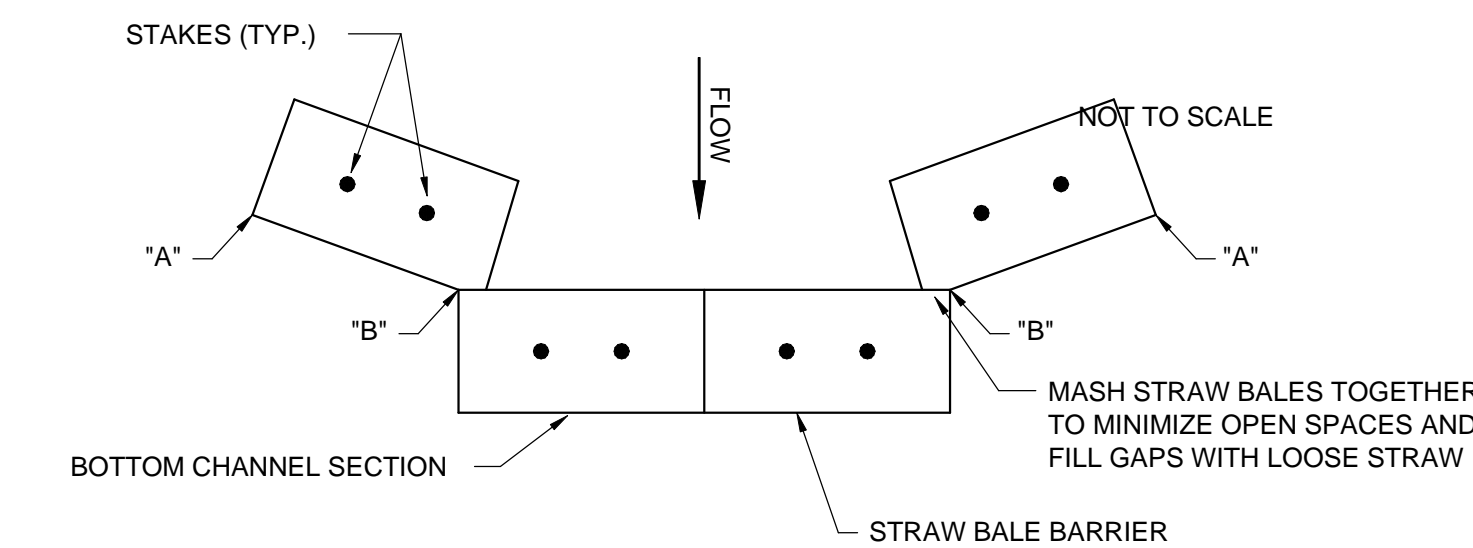
1. TOPSOIL SPREADING OF TOPSOIL IS REQUIRED FOR PERMANENT SEEDING AREAS ONLY. TOPSOIL STRIPPED FROM THE SITE SHALL BE STOCKPILED FOR REUSE. A MINIMUM OF 4" LOOSE DEPTH OF TOPSOIL MUST BE SPREAD ON THE AREA TO BE SEEDED.
2. LIME AFTER TOP SOIL IS SPREAD, LIME SHALL BE SPREAD AT THE RATE OF 800-900 POUNDS EFFECTIVE NEUTRALIZING MATERIAL (ENM) PER ACRE (18-20 POUNDS PER 100 SQ. FT.)
3. FERTILIZER FERTILIZER SHALL BE 13-13-13, (13 POUNDS EACH OF NITROGEN, PHOSPHORUS, AND POTASSIUM PER 100 POUNDS) AND SHALL BE APPLIED AT A RATE OF 400-500 POUNDS PER ACRE (10-12 POUNDS PER 1000 SQUARE FEET).
4. SEED SEED MIX SHALL CONSIST OF 60 TO 80 % KENTUCKY 31 TALL FESCUE AND 20 TO 40% ANNUAL RYEGRASS. PURITY SHALL BE AT LEAST 97 % GERMINATION SHALL BE AT LEAST 85% SEED MIXTURE SHALL BE APPLIED AT A RATE OF 200-300 POUNDS PER ACRE.
5. TYPE 1 MULCH WHERE SLOPES ARE LESS THAN 4:1, CEREAL GRAIN MULCH IS REQUIRED AT THE RATE OF 100 POUNDS PER 1000 SQUARE FEET (4500 POUNDS PER ACRE). CEREAL GRAIN MULCH SHALL MEET THE REQUIREMENTS OF SECTION 802 OF THE MISSOURI STATE SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (STATE SPECIFICATIONS) FOR TYPE 1 MULCH. MULCH MAY BE APPLIED BY HAND, HOWEVER, IT MUST BE EVENLY SPREAD. IT IS PREFERRED THAT MULCH BE APPLIED WITH A MECHANICAL BLOWER. TYPE 1 MULCH MUST BE THOROUGHLY WETTED AFTER APPLICATION.
6. TYPE 3 MULCH WHERE SLOPES ARE 4:1 OR GREATER TYPE 3 MULCH ("HYDROMULCH") MEETING THE REQUIREMENTS OF SECTION 802 OF THE STATE SPECIFICATIONS SHALL BE USED. TYPE 3 MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2000 POUNDS PER ACRE.
7. SEEDING SEASON SEEDING SEASONS RUN FROM MARCH 1 TO JUNE 1 AND AUGUST 15 TO NOVEMBER 1. WHERE POSSIBLE, OPERATIONS SHALL BE SCHEDULED TO ALLOW FINAL SEEDING DURING THESE PERIODS. WHEN SEEDING CANNOT BE COMPLETED DURING THESE TIMES, AREAS SHALL BE SEEDED AND MULCHED UPON COMPLETION OF GRADING WITH THE AMOUNTS OF LIME, FERTILIZER, SEED, AND MULCH SPECIFIED ABOVE, REGARDLESS OF THE SEASON. ANY AREAS WHERE GROWTH HAS NOT BEEN ESTABLISHED SHALL BE RESEDED DURING THE NEXT SEEDING SEASON.
8. TEMPORARY SEEDING TEMPORARY SEEDING SHALL BE APPLIED TO LOT AREAS, BUILDING AREAS AND OTHER AREAS PLANNED TO RECEIVE OTHER PERMANENT COVERINGS. SPREADING OF TOP SOIL IS NOT REQUIRED IN TEMPORARY SEEDING AREAS. LIME, FERTILIZER, SEED, AND MULCH SHALL BE APPLIED AT THE RATES SPECIFIED ABOVE.
9. MAINTENANCE AREAS SEEDED BETWEEN MARCH 1 - JUNE 1 AND AUGUST 15 - NOVEMBER 1 MUST BE MAINTAINED FOR A MINIMUM OF 60 DAYS OR UNTIL GROWTH IS FIRMLY ESTABLISHED. AREAS SEEDED JUNE 1 - AUGUST 15 AND NOVEMBER 1 - MARCH 1 MUST BE MAINTAINED UNTIL THE NEXT SEEDING SEASON.



**NOTES:**

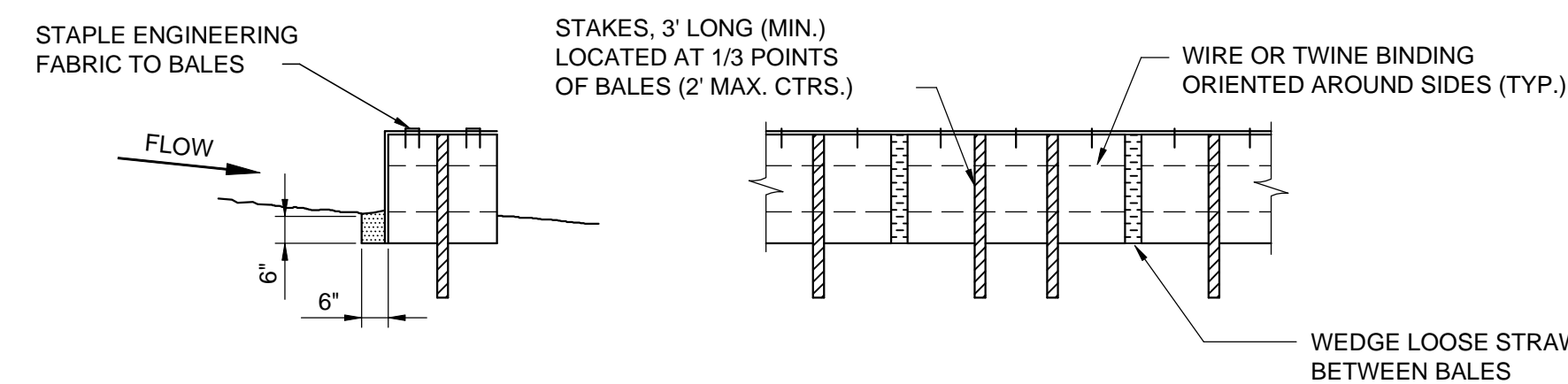
1. OTHER CONFIGURATIONS OF CONCRETE WASHOUTS MAY BE SUBMITTED FOR REVIEW AND POSSIBLE APPROVAL.
2. THE CONCRETE WASHOUT MAY BE CONSTRUCTED EITHER ABOVE OR BELOW GRADE.
3. THE LOCATION OF THE CONCRETE WASHOUT SHALL BE SHOWN ON THE EROSION AND CONTROL PLANS.
4. THE REQUIRED SIZE SHALL BE DETERMINED BY THE DESIGN ENGINEER AND INDICATED ON THE DRAWINGS.
5. THE CONCRETE WASHOUT SHALL HAVE SUFFICIENT VOLUME. DISCHARGE WILL NOT BE ACCEPTABLE.
6. THE CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE DELIVERY TO THE SITE.
7. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE CONCRETE WASHOUT.
8. THE CONCRETE WASHOUT SHALL NOT BE INSTALLED WITHIN 50' OF ANY STREAM, WETLAND, STORM DRAINS OR OTHER SENSITIVE AREAS.
9. THE LINER SHALL BE ONE PIECE WITHOUT SEAMS.
10. THE CONCRETE WASHOUT SHALL BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY AND ADEQUATE HOLDING CAPACITY. THEY SHALL ALSO BE INSPECTED AFTER HEAVY RAINS.
11. ONLY CONCRETE WASHOUT SHALL BE PLACED INTO THE CONCRETE WASHOUTS.
12. THE HARDENED CONCRETE WASTE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO 75% OF THE WASHOUT'S CAPACITY.
13. AFTER COMPLETION OF ALL CONCRETE WORK, THE CONCRETE WASHOUT FACILITY SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF SITE.

**CONCRETE WASHOUT**



**TOP VIEW**

NOTE: POINTS 'A' SHOULD BE HIGHER THAN POINTS 'B' TO INSURE FLOW THROUGH OR OVER BARRIER, NOT AROUND IT.



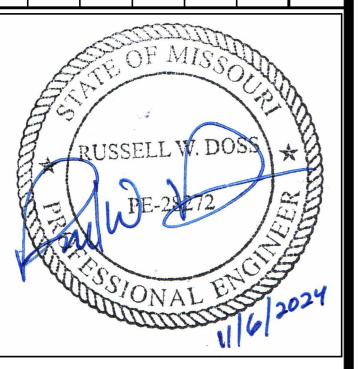
**CROSS SECTION**

**LONGITUDINAL SECTION**

**STRAW BALE DITCH CHECK DETAILS**

NOT TO SCALE

NO.	DATE	REVISION DESCRIPTION	BY

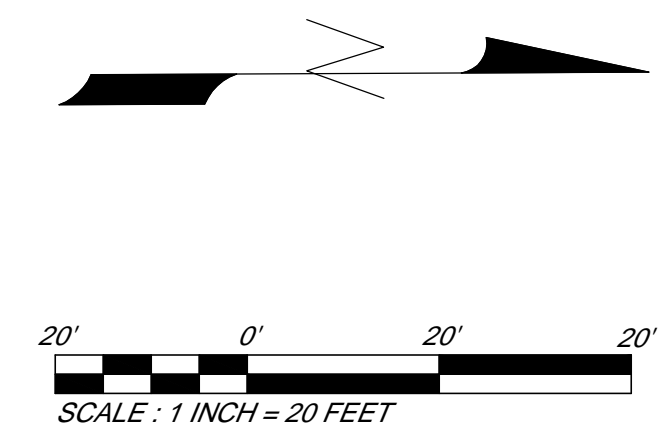
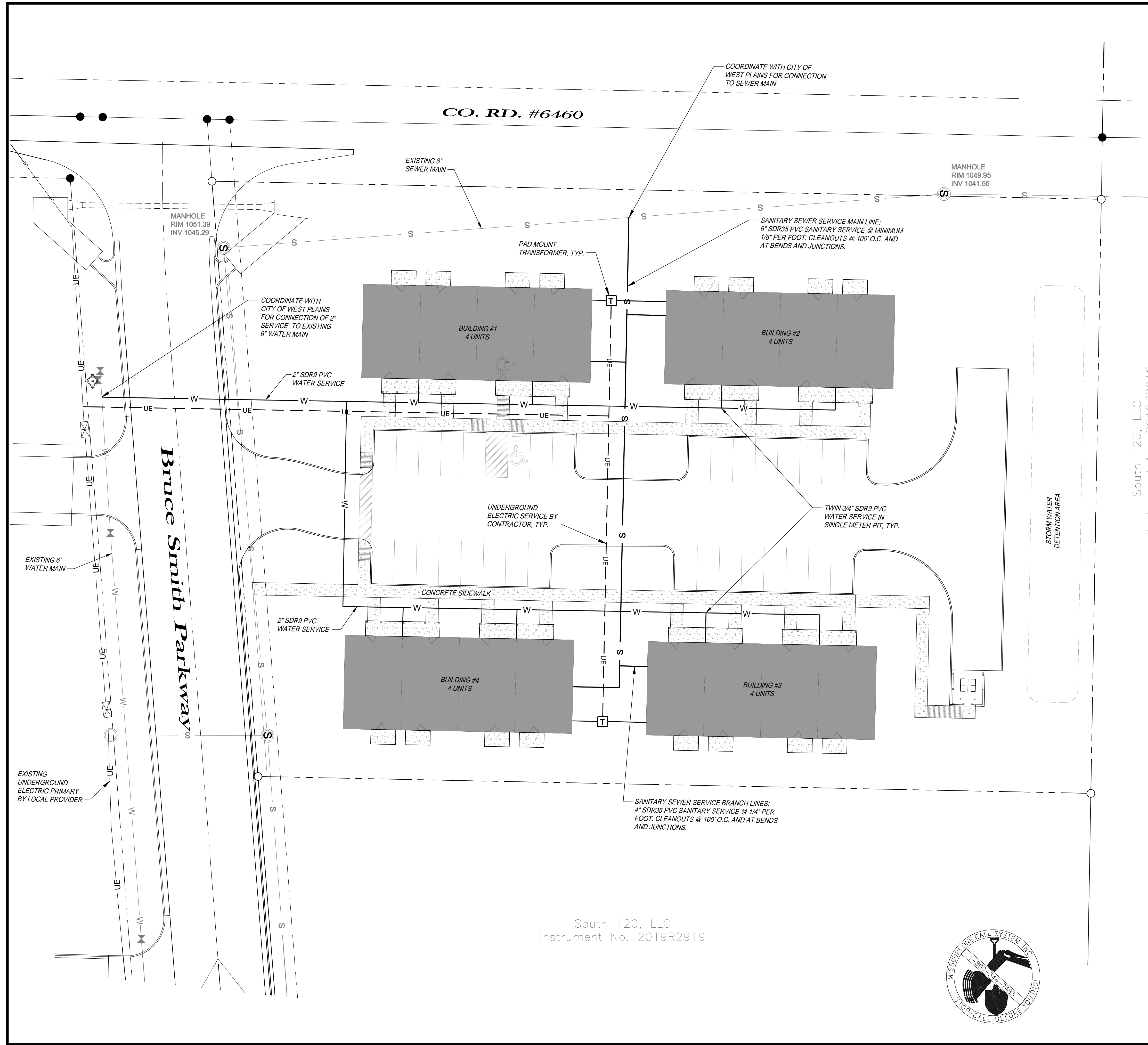


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**GARNER VILLAS PHASE II**  
**WEST PLAINS, MISSOURI**  
**SEDIMENT & EROSION CONTROL DETAILS**

**SHEET C5**



**LEGEND**

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+ 997.49	SPOT ELEVATION

**UTILITY NOTES:**

- 1) ALL UTILITY WORK SHALL CONFORM TO THE LATEST STANDARD DETAILS AND SPECIFICATIONS FOR THE CITY OF WEST PLAINS.
- 2) PROMPTLY PATCH AND REPAIR ADJACENT CONSTRUCTION DISTURBED BY UTILITY INSTALLATION OR CONNECTION.
- 3) CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES BEFORE REMOVING ANY EXISTING SERVICE CONNECTIONS.
- 4) MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING UTILITY INSTALLATION.
- 5) DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITY HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING ANY INTERRUPTION TO EXISTING FACILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 6) ALL WATER LINES SHALL HAVE 42" MINIMUM COVER.
- 7) ALL SANITARY SEWER LINES SHALL BE SDR35 PVC WITH 42" MINIMUM COVER.
- 8) ALL ELECTRIC, TELEPHONE, AND GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- 9) PRIOR TO CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN, OR OTHER UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS. CONTRACTOR SHALL NOTIFY THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN.
- 10) CROSSING OF WATER AND SEWER SERVICES SHALL BE AT 90° AND SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10' AND A MINIMUM VERTICAL SEPARATION OF 18". WATER LINE SHALL BE CONSTRUCTED ABOVE SEWER LINE.

**UTILITY DISCLAIMER**

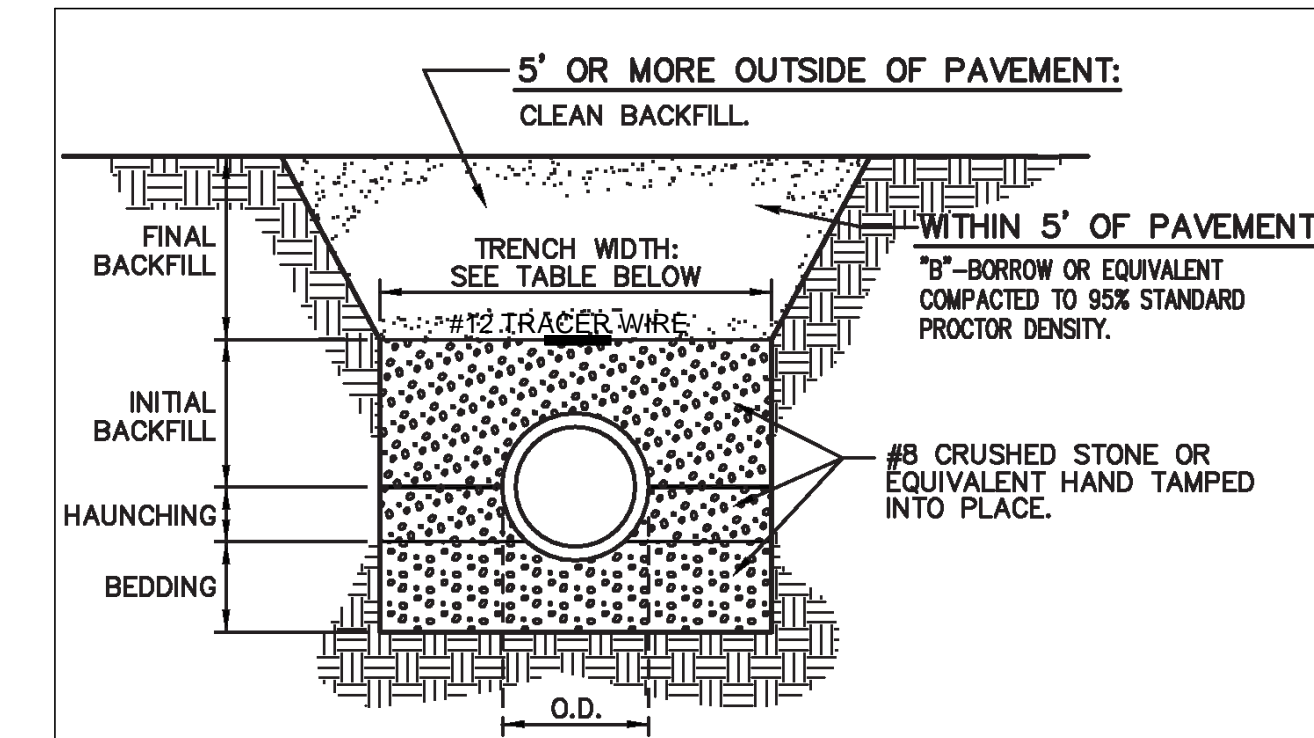
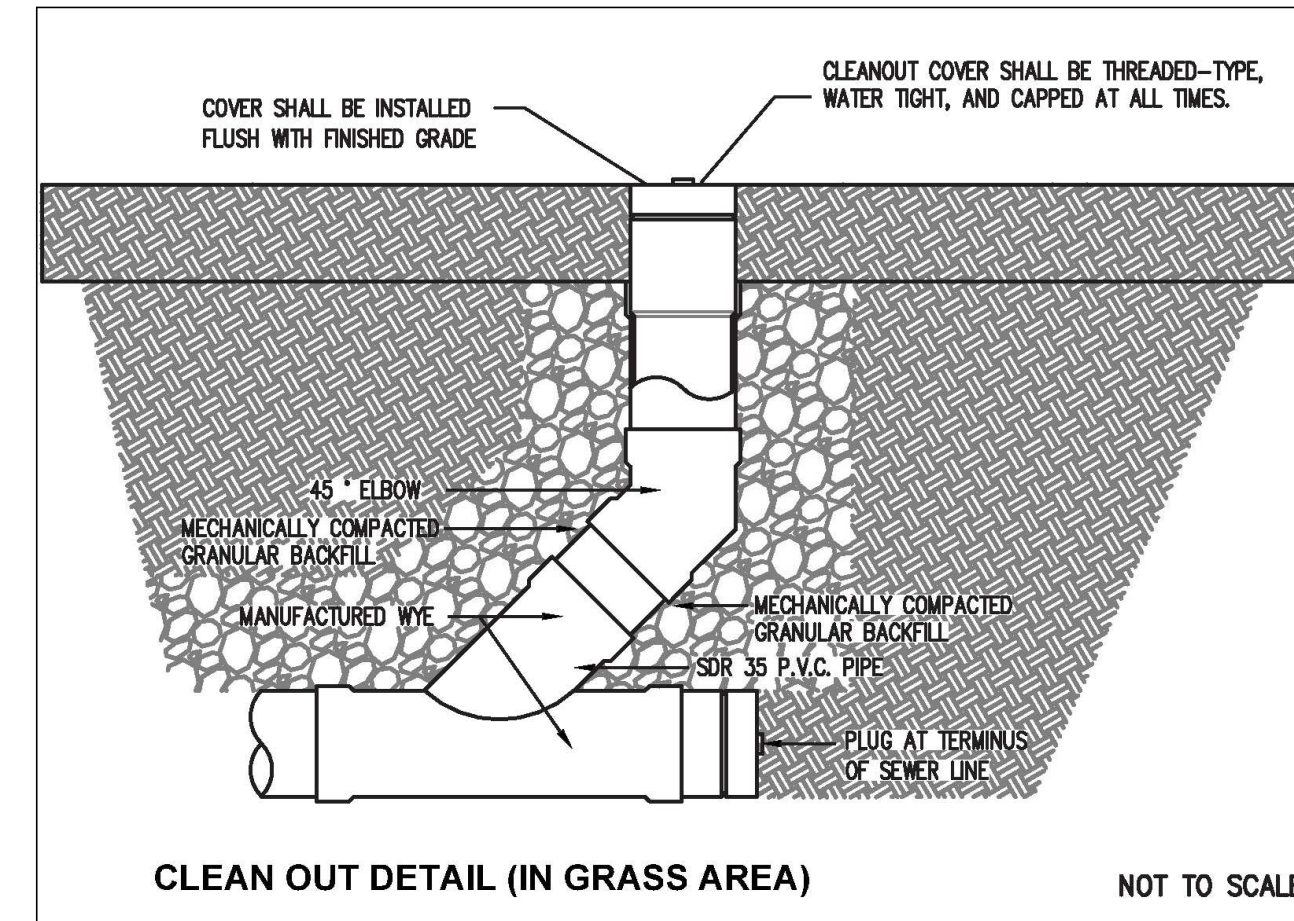
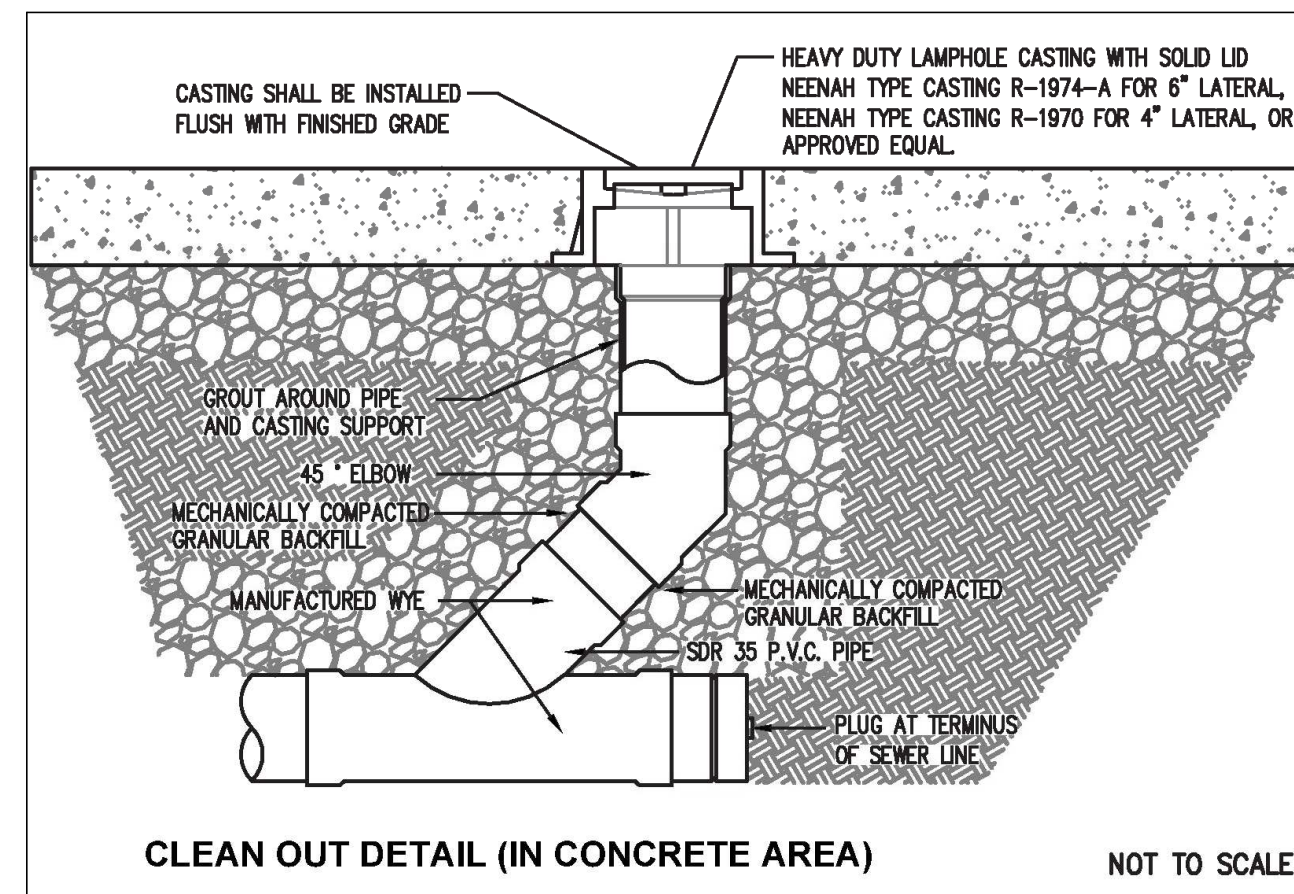
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<p><b>GARNER VILLAS PHASE II</b> <b>WEST PLAINS, MISSOURI</b></p> <p><b>SITE UTILITY PLAN</b></p>	
<p><b>SHEET</b> <b>C6</b></p>	



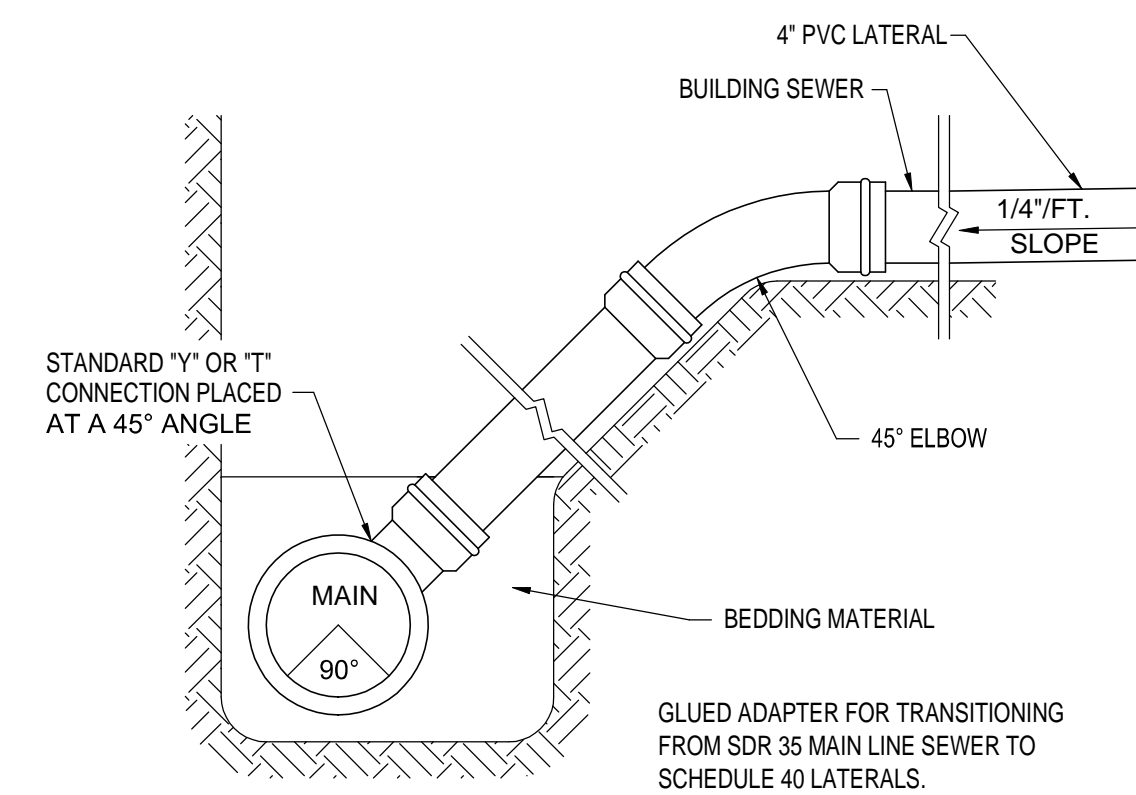
MINIMUM BEDDING, HAUNCHING, AND INITIAL BACKFILL DEPTHS		
PIPE SIZE	BEDDING (BELOW PIPE BARREL)	HAUNCHING AND INITIAL BACKFILL (ABOVE TOP OF PIPE)
UNDER 8"	4" MIN.	4" MIN.
8" TO 15"	4" MIN.	12" MIN.
18" & OVER	8" MIN.	12" MIN.

MINIMUM TRENCH WIDTHS	
PIPE SIZE	MINIMUM WIDTH
UP TO 18"	O.D. + 16"
18" & OVER	(O.D. x 1.25) + 12"

**FLEXIBLE PIPE BEDDING & BACKFILL REQUIREMENTS DETAIL** NOT TO SCALE

**WATER CONNECTION NOTES:**

- 1) CONTRACTOR SHALL CONNECT WATER SERVICE LINE TO EXISTING WATER MAIN AT OR NEAR THE LOCATION SHOWN.
- 2) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF THE EXISTING WATER MAIN AND ADJUST CONNECTION POINT AS NECESSARY.
- 3) CONTRACTOR SHALL REPAIR ANY EXISTING SIDEWALK OR PAVEMENT THAT IS REMOVED OR DAMAGED FOR THE CONNECTION.
- 4) REFERENCE MEP DRAWINGS FOR WATER METER AND CONNECTION LOCATION.
- 5) ALL WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF WEST PLAINS DESIGN AND CONSTRUCTION SPECIFICATIONS.



**NOTE:**

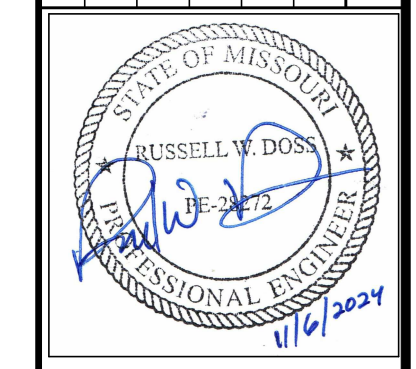
MOULDED TEES ARE REQUIRED FOR ALL LATERALS ON NEW SEWER LINES. ALL LATERALS SHALL BE SCHEDULE 40 PIPE AND JOINTS SHALL BE GLUED WITH AN APPROVED ADHESIVE.

**SEWER SERVICE CONNECTION** NOT TO SCALE

**SANITARY SEWER CONNECTION NOTES:**

- 1) BUILDING SEWER SHALL BE AT 1/4" PER 1' SLOPE WITH CLEANOUT TO GRADE WITHIN 5' OF THE BUILDING AND EVERY 100' THEREAFTER AND AT EVERY HORIZONTAL CHANGE IN DIRECTION GREATER THAN 45 DEGREES.
- 2) ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF WEST PLAINS DESIGN AND CONSTRUCTION SPECIFICATIONS.

NO.	DATE	REVISION DESCRIPTION	BY

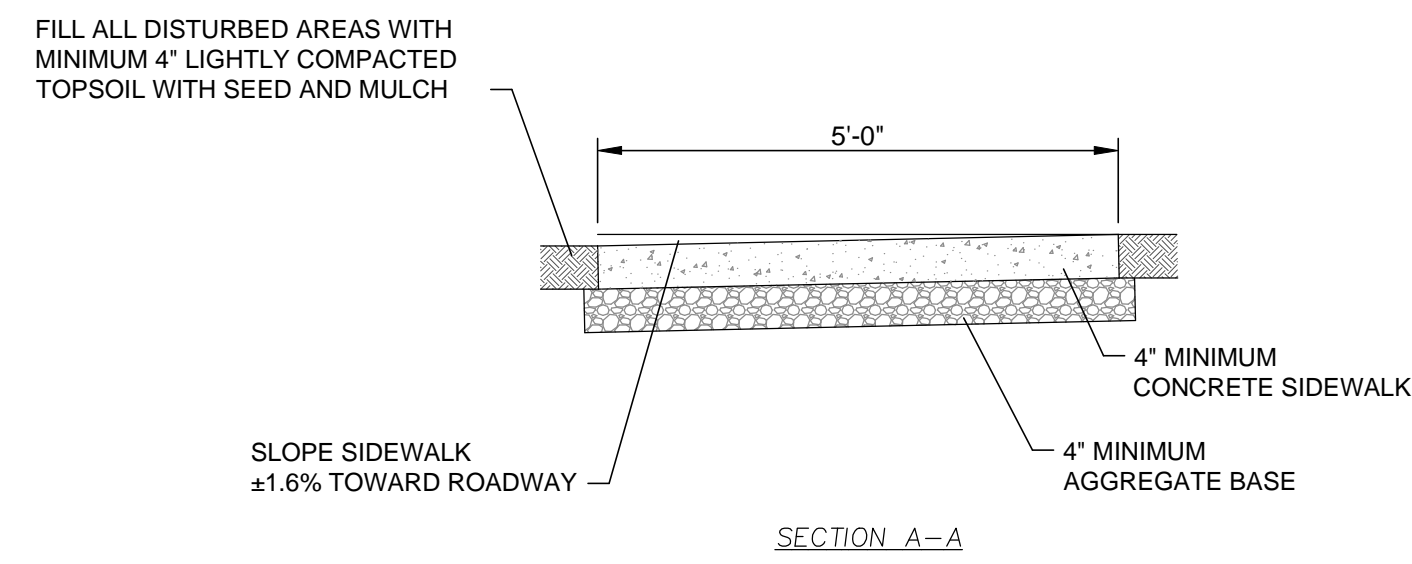
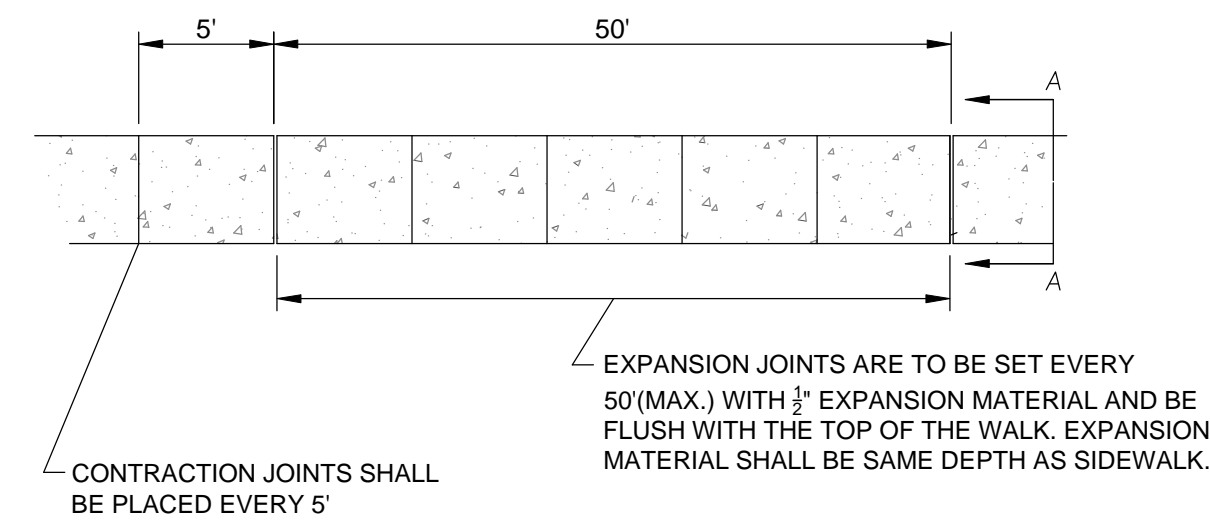


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DRAWN BY: _____	R.D.
JOB NUMBER: 23-1209	DATE: 11-18-2024

**GARNER VILLAS PHASE II**  
**WEST PLAINS, MISSOURI**  
**SITE UTILITY DETAILS**



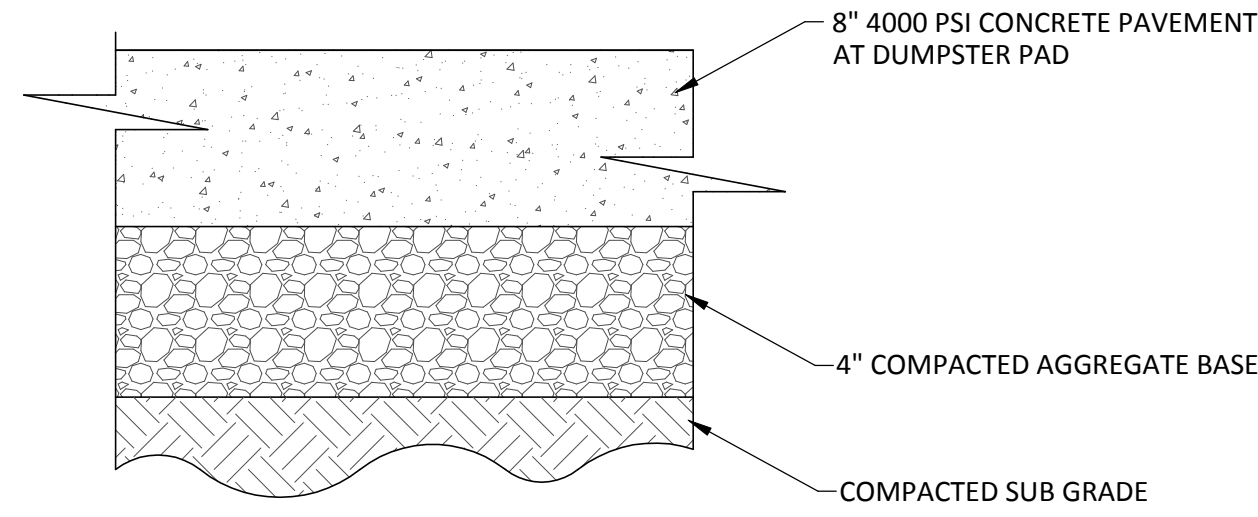


- NOTES:**
- 4000 PSI CONCRETE MIX SHALL BE USED ON ALL SIDEWALK.
  - ALL CONSTRUCTION SHALL CONFORM TO ADA REQUIREMENTS.
  - SIDEWALK CROSSING AT DRIVEWAY SHALL MEET ADA REQUIREMENTS.

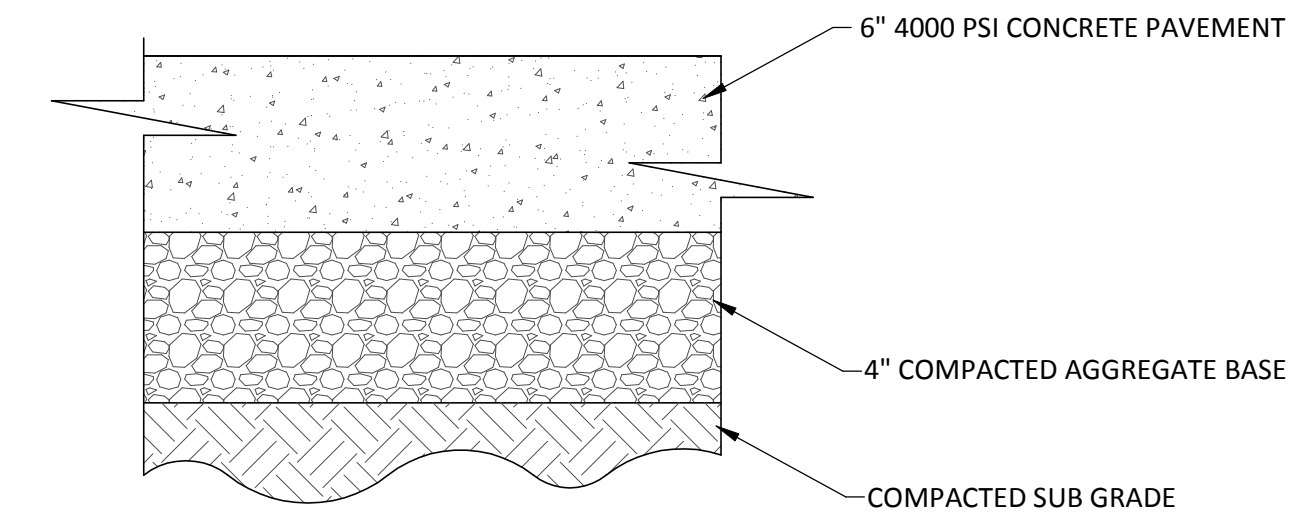
**SIDEWALK DETAIL**  
NOT TO SCALE

**STRIPING NOTES**

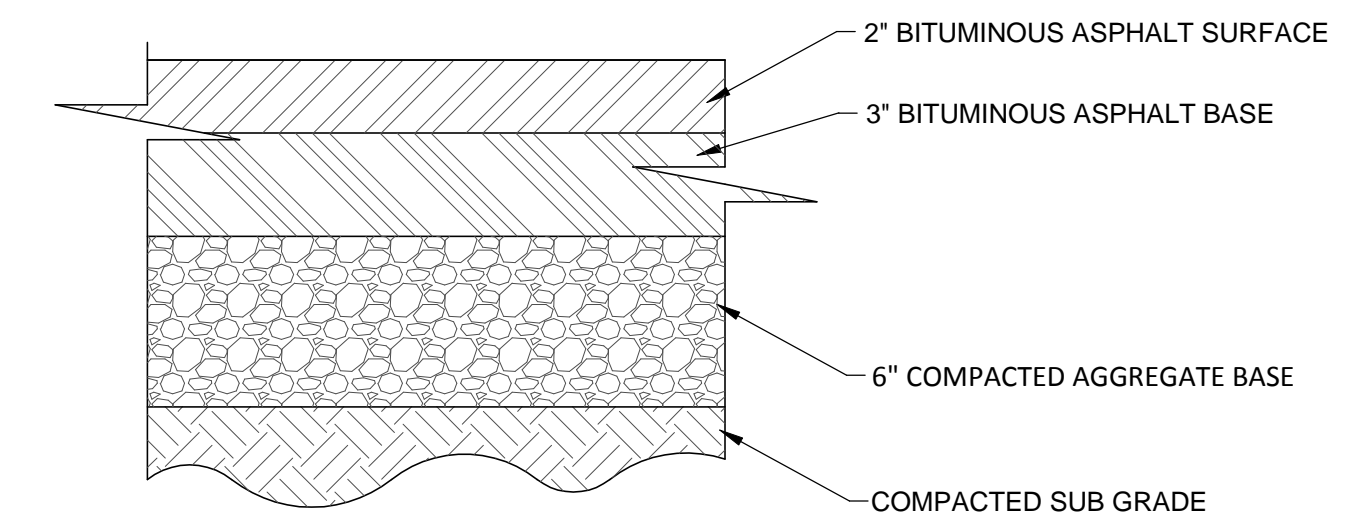
- |                                 |   |
|---------------------------------|---|
| YELLOW CURBING AND BOLLARDS     | SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B5Y300 |
| STRIPING - PARKING LOT          | SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495   |
| HANDICAP STRIPING - PARKING LOT | SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE   |



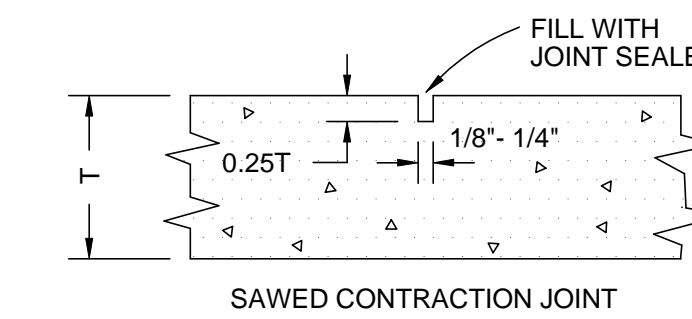
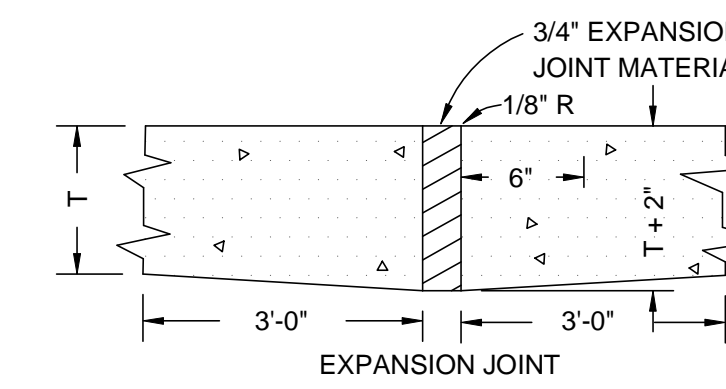
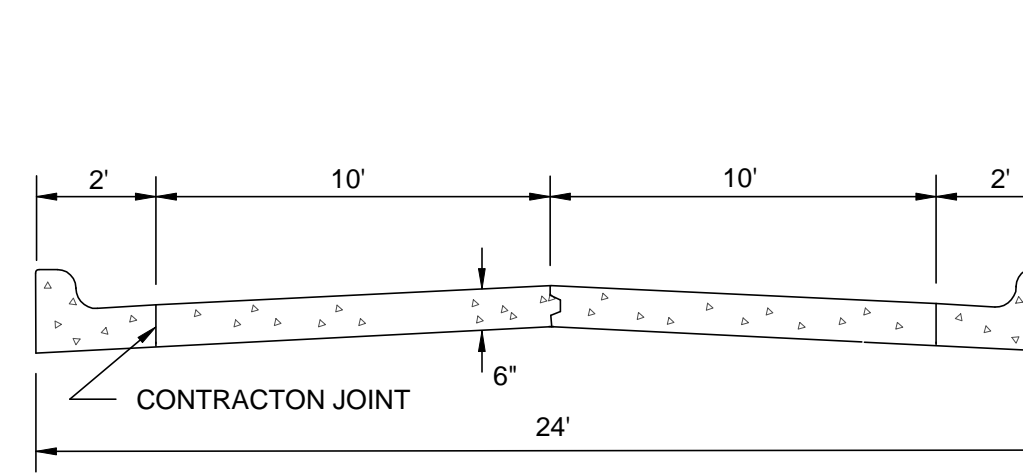
**CONCRETE PAVEMENT SECTION @ TRASH ENCLOSURE**  
NOT TO SCALE



**TYPICAL CONCRETE STREET SECTION**  
NOT TO SCALE

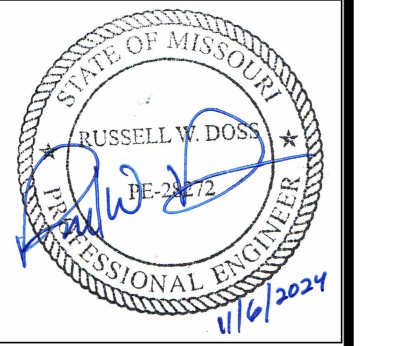


**ALTERNATE ASPHALT STREET SECTION**  
NOT TO SCALE



**TYPICAL CONCRETE PAVEMENT JOINTS**  
NOT TO SCALE

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**GARNER VILLAS PHASE II**  
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**DETAILS**