



September 22, 2024

To: West Plains City Council
Sam Anselm

From: Dustin Harrison, Building Official/Zoning Administrator.

Re: Dollar General Site Plan.

Executive Summary

Recommend approving a building permit for a new Dollar General.

Discussion

This request has been submitted by Overland Engineering. This request is for a new 10,640 square foot Dollar General located East of Lincoln Avenue and South of West Abe Taylor Street.

City staff has reviewed this plan for zoning compliance and adequate infrastructure. This plan meets the requirements for the C-2 zoning designation and utilities are in place to support the development.

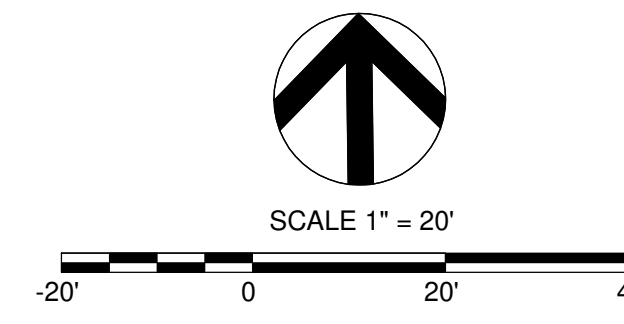
West Plains Planning Commission recommended this for approval on September 5, 2024.

Fiscal Impact

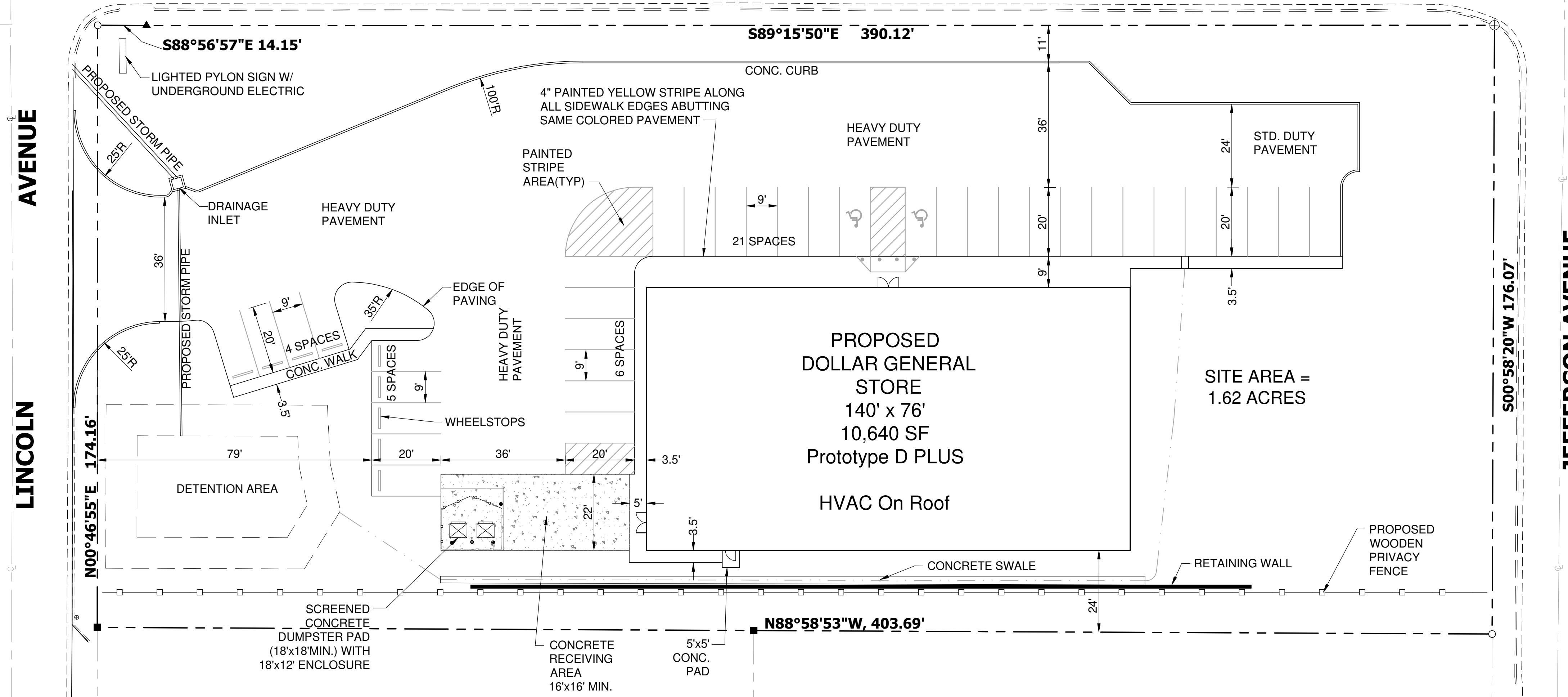
N/a

DOLLAR GENERAL STORE 31203
WEST PLAINS, MISSOURI

PARKING SPACES/REQD: 36/36
BLDG/SALES SF: 10,640 / 8,504
DEVELOPER: DGOGWESTPLAINS MO 7032024 LLC
ENGINEER: OVERLAND ENGINEERING, LLC

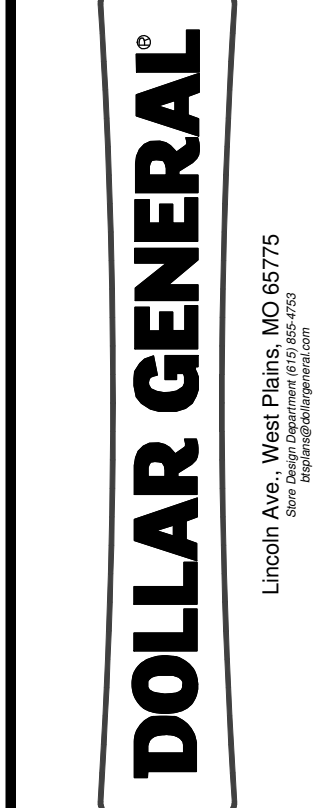


WEST ABE TAYLOR STREET (U.S. ROUTE 160 STATE ROUTE 17)



- GENERAL NOTES**
1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF WEST PLAINS, MISSOURI, UNLESS OTHERWISE NOTED.
 2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF WEST PLAINS, MISSOURI.
 3. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
 4. THE CONTRACTOR MAY UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC.: 1-(800)-DIG-RITE. THIS PHONE NUMBER IS APPLICABLE ANYWHERE WITHIN THE STATE OF MISSOURI.
 5. ALL DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
 6. THE CONTRACTOR SHALL UNDER NO CIRCUMSTANCES CLEAR OR DAMAGE ANY TREES OUTSIDE THE CLEARING LIMIT LINE SET BY THE CITY WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER OR PROPERTY OWNER.
 7. CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
 8. THE CONTRACTOR SHALL KEEP THE STREETS CLEAN OF MUD AND DEBRIS.
 9. THE CONTRACTOR SHALL PLACE MIN. 4" TOPSOIL AND SEED & MULCH (OR SOD) ON ALL DISTURBED AREAS UNLESS OTHERWISE NOTED.
 10. DOWNSPOUTS SHALL NOT BE ALLOWED TO DISCHARGE ACROSS SIDEWALKS. ROUTE DOWNSPOUTS UNDER SIDEWALK AT ALL SIDEWALK LOCATIONS. SEE DETAIL ON SHEET 4

PER FEMA FIRM 29091C0351F, EFFECTIVE DATE: 4/7/2021, SUBJECT PROPERTY LIES IN "ZONE X" - "AREA OF MINIMAL FLOOD HAZARD."



NO.	DATE	DESCRIPTION	BY



Overland ENGINEERING, LLC
1588 IMPERIAL CIR., STE. 2009 WEST PLAINS, MO 65775
PHONE: (417) 256-8150 FAX: (417) 256-8152
russo@overlandeng.com

DOLLAR GENERAL
WEST PLAINS, MO
SITE PLAN

SURVEY DESCRIPTION

A PART OF LOT 6 OF "PADON'S SUBDIVISION", THE PLAT OF WHICH IS RECORDED IN HOWELL COUNTY PLAT BOOK A AT PAGE 31, BEING IN THE E1/2 OF THE NW1/4 SECTION 21, TOWNSHIP 24 NORTH, RANGE 8 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF WEST PLAINS, HOWELL COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGINNING AT A 1/2" REBAR SET AT THE SOUTHEAST CORNER OF SAID LOT 6, BEING ON THE WEST RIGHT-OF-WAY LINE OF JEFFERSON AVENUE; THENCE WESTERLY, ALONG THE SOUTH LINE OF SAID LOT 6, NORTH 88°58'53" WEST, 403.69 FEET TO AN EXISTING 5/8" REBAR ON THE EAST RIGHT-OF-WAY LINE OF LINCOLN AVENUE; THENCE NORTHERLY, ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°46'55" EAST, 174.16 FEET TO A 1/2" REBAR SET ON THE SOUTH RIGHT-OF-WAY LINE OF WEST ABE TAYLOR STREET (AKA U.S. ROUTE 160 / MISSOURI ROUTE 17); THENCE EASTERLY, ALONG SAID SOUTH RIGHT-OF-WAY LINE, THE FOLLOWING TWO COURSES:

- 1) SOUTH 88°56'57" EAST, 14.15 FEET TO AN EXISTING METAL POST RIGHT-OF-WAY MARKER;
- 2) SOUTH 89°15'50" EAST, 390.12 FEET TO A CROSS CUT ON THE TOP OF A CONCRETE CURB ON SAID WEST RIGHT-OF-WAY LINE OF JEFFERSON AVENUE; THENCE SOUTHERLY, ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 00°58'20" WEST, 176.07 FEET TO THE POINT OF BEGINNING, CONTAINING 1.62 ACRES.

DATE: 8-20-24

Call BEFORE you DIG

MISSOURI ONE CALL SYSTEM
TOLL FREE
1-800-DIG-RITE (344-7483)

UTILITY DISCLAIMER

EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN THE PREPARATION OF THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR THE COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.

SHEET
C1

P:\Projects\11-1001 Overland Properties\1388 West Plains, MO Lincoln Ave\Drawings\DC West Plains MO Lincoln Ave.dwg 08/20/2024 05:36 PM